

Landscaping Guideline: Unit Developments

This guideline is to assist proponents to prepare landscape plans and meet landscaping condition(s) specified on the Notice of Determination on Application for Development Approval.

Other landscaping guidelines have been produced for screening, industrial and commercial developments, and Urban Forest Strategy-Suggested Tree Species. The Landscaping Guideline - Plants to Avoid and Trees for Confined Spaces should accompany this guideline.

This guideline covers landscaping design principles including species selection and layout, installation of the landscaping, and the process to achieve approval of landscaping plan.

Design Principles

- 50% native plants and trees are to be used. Gardens should be Waterwise (see the Water Corporation website or phone the Water Corporation on 13 10 39). Irrigation should be provided for moderate and high water use plants.
- You should choose species likely to live for more than 10 years.
- Species should be suited to the type of soil they are to be planted in.
- Plants that are dangerous or may become weeds in bushland are not acceptable. (See Landscaping Guidelines – Plants to Avoid)
- Invasive species are not permitted near drainage and sewerage pipes.
- Species selection should consider if the site is mapped as “Bushfire Prone” by the State Government (refer to www.dfes.wa.gov.au).
- Species below powerlines to meet Western Power requirements (see Western Power website or phone Western Power on 13 10 87).
- Criteria within Policy PLN 3.1, including retention of existing trees, provision of significant trees, and treatment of the verge.

Layout

- Existing shrubs and trees should be retained and protected. Landscaping layout should make sure that the root zone of existing shrubs and trees is not paved, excavated or buried, and that fertiliser and watering requirements for plants around existing shrubs and trees are the same (e.g. use local plants around Banksia trees – they will die if fertilised and watered regularly). Maximum vegetation retention is required.

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- Trees planted within 2m of a boundary should be sourced from the Trees for Confined Spaces information sheet. Verge trees are to be provided; one tree for every 10m in the 2.7m alignment from the Lot boundary as per utility code of providers and minimum 1.5m from a crossover.
- Layout should have regard to:
 - Planting for solar control (i.e. providing shade in summer and solar access in winter).
 - Screening headlight glare and noisy areas.
 - Softening and screening of hard surfaces (e.g. blank walls and fences) (See Landscaping Guidelines – Screening).
 - Maintaining good vision for motorists and pedestrians.
 - Location of services, such as overhead power, and sewerage and drainage pipes.
- A minimum 0.5 metre wide landscaping strip is required on both sides of access ways.
- As a guide, the following minimum plant densities should be used to avoid a sparse appearance.

| Type of plant | Planting density |
|--------------------------|---------------------------|
| Large shrubs 150 - 200mm | 2 plants per square metre |
| Small shrub 130mm | 3 plants per square metre |

- Car parks should have one tree per four bays and parallel car bays should have one tree per three car bays.

- Split pea gravel (or any other split aggregates) shall have a particle size between 12 - 16mm.
- The City encourages landscaping proposals to include the verge (See the City of Armadale's Verge Guidelines).

Installation Requirements

- Plant stock needs to create an immediate effect and survive. Pot sizes should be as follows:

| Type of plant | Pot size |
|---------------------|----------------|
| Trees | 45L - 200L |
| Shrubs | 150 - 200mm |
| Small border plants | Minimum 130 mm |

- All garden beds should be
 - i. and proposed street tree/s
 - ii. Identification and extent of irrigation
 - Identification of hard landscape materials (e.g. specify if paving is to be brick or concrete slabs etc.)
 - Existing vegetation (species and location), including those proposed to be removed
 - Street frontages and road names
1. The plan must briefly describe proposals for future control, irrigation method and maintenance of landscape areas, unless previously described in the application for development approval including the verge.
 2. Send the plan to City of Armadale Planning Services as part of your application.
 - Please note that, Clause 4.3.5.3 of PLN 3.1 (Residential Density Development) requires a landscaping plan to be

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- provided as part of a development application.
- Once the plan is approved by the City, install as proposed in the plan. Your landscaping should also meet the installation requirements in this guideline.
 - When installation is complete contact Planning Services who will organise inspection of the works and advise whether the condition has been met.

